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Plot No	Type	Tenure	GIA	No of Beds	No of Occupants	Storeys	Parking
Plot 1	Semi-Detached	Shared Ownership	79m²	2	4	2	200%
Plot 2	Semi-Detached	Shared Ownership	79m²	2	4	2	200%
Plot 3	Semi-Detached	Shared Ownership	79m²	2	4	2	200%
Plot 4	Semi-Detached	Shared Ownership	79m²	2	4	2	200%
Plot 5	Semi-Detached	Affordable Rent	79m²	2	4	2	200%
Plot 6	Semi-Detached	Affordable Rent	79m²	2	4	2	200%
Plot 7	Semi-Detached	Shared Ownership	93m²	3	5	2	200%
Plot 8	Semi-Detached	Shared Ownership	93m²	3	5	2	200%
Plot 9	Semi-Detached	Shared Ownership	93m²	3	5	2	200%
Plot 10	Semi-Detached	Shared Ownership	93m²	3	5	2	200%
Plot 11	Semi-Detached	Affordable Rent	117m²	4	7	2	200%
Plot 12	Semi-Detached	Affordable Rent	122m²	4	7	2	200%
Plot 13	Apartment	Affordable Rent	51m²	1	2	*1	100%
Plot 14	Apartment	Affordable Rent	51m²	1	2	*1	100%
Plot 15	Apartment	Affordable Rent	51m²	1	2	*1	100%
Plot 16	Apartment	Affordable Rent	51m²	1	2	*1	100%
Plot 17	Apartment	Affordable Rent	51m²	1	2	*1	100%
Plot 18	Apartment	Affordable Rent	51m²	1	2	*1	100%
Plot 19	Semi-Detached	Shared Ownership	80m²	2	4	2	200%
Plot 20	Semi-Detached	Shared Ownership	93m²	3	5	2	200%
Plot 21	Apartment	Affordable Rent	79m²	2	4	2	200%
Plot 22	Apartment	Affordable Rent	79m²	2	4	2	200%
Plot 23	Apartment	Affordable Rent	79m²	2	4	2	200%
Plot 24	Bungalow	Affordable Rent	62m²	2	3	1	200%
Plot 25	Semi-Detached	Affordable Rent	79m²	2	4	2	200%
Plot 26	Semi-Detached	Affordable Rent	79m²	2	4	2	200%
Plot 27	Semi-Detached	Shared Ownership	93m²	3	5	2	200%
Plot 28	Semi-Detached	Shared Ownership	93m²	3	5	2	200%
Plot 29	Bungalow	Affordable Rent	62m²	2	3	1	200%

\*Single Storey Apartments - Block 7  
Two Storey Overall

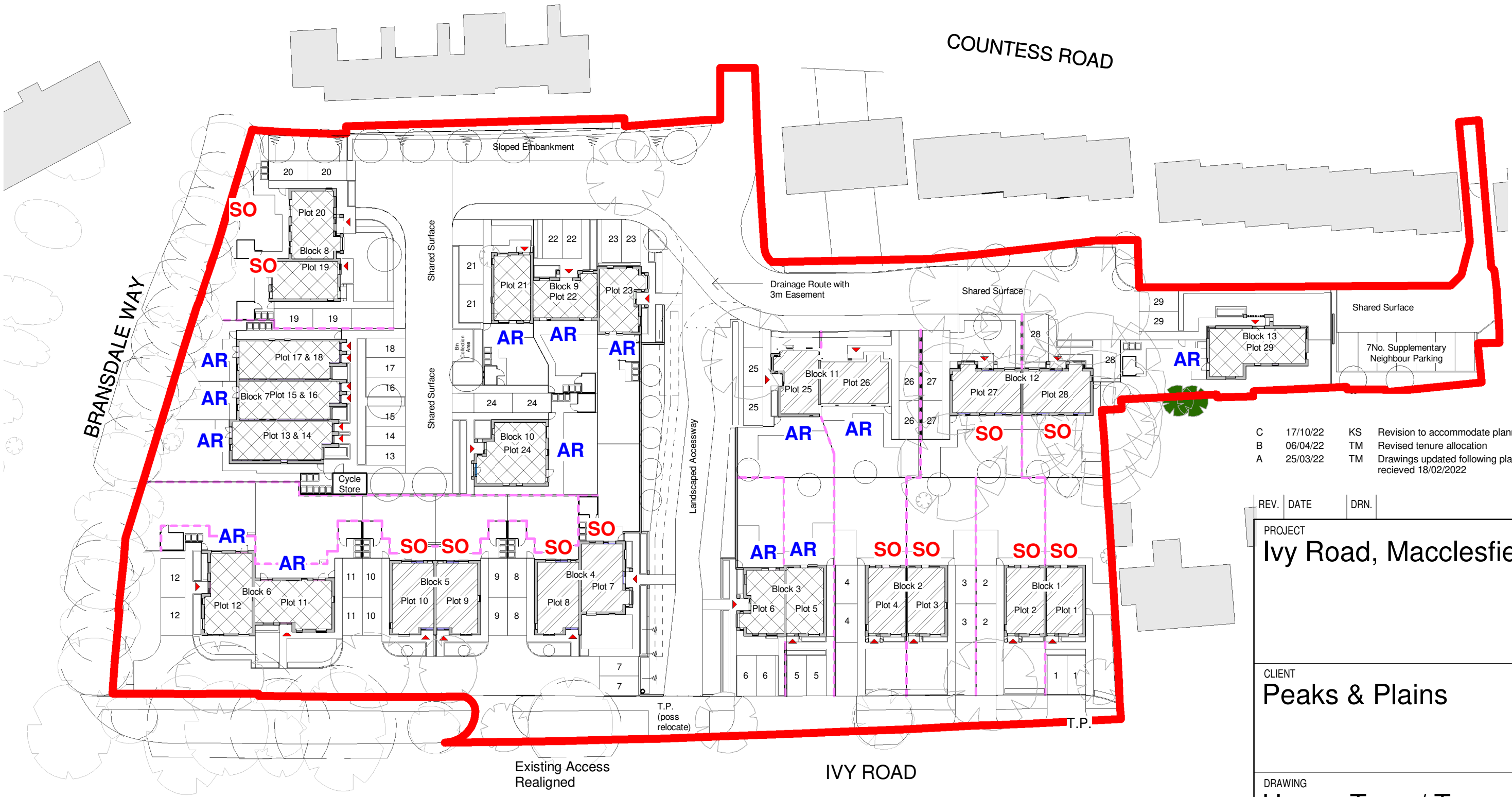
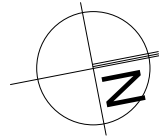
AR

SO

Affordable Rent

Shared Ownership

Summary of Schedule of Accommodation			
Type	Area	No.	Parking
1b2p Apartments	51m²	6	200%
2b3p Bungalows	62m²	2	200%
2b4p Houses	79m²	12	200%
3b5p Houses	93m²	7	200%
4b7p Houses	115m²	2	200%
Total Units	29 No. Homes		



C	17/10/22	KS	Revision to accommodate planning comments	MD
B	06/04/22	TM	Revised tenure allocation	MD
A	25/03/22	TM	Drawings updated following planners comments received 18/02/2022	MD

REV.	DATE	DRN.	CHKD.
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PROJECT  
Ivy Road, Macclesfield

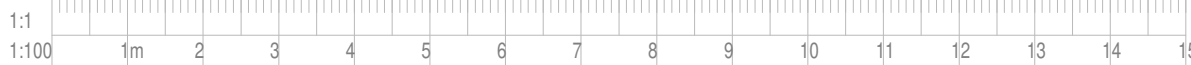
CLIENT  
Peaks & Plains

DRAWING  
House Type / Tenure Allocation

SCALE 1 : 500	SHEET SIZE @ A2	DRAWN TM	CHECKED MD	DATE 23/11/2021
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**BOWKER SADLER ARCHITECTURE**  
A: Hatherlow House, Hatherlow, Romiley, Stockport SK6 3DY  
T: 0161 406 7333  
E: office@bowker-sadler.co.uk  
W: www.bowker-sadler.co.uk

JOB No <b>20014</b>	DRAWING No <b>1004</b>	REVISION <b>C</b>
STATUS <b>Planning</b>		





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DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Material Schedule

Walls: red brick compatible with local vernacular  
Roofs: thin edge tile  
Projecting surrounds to doors/windows: Metal clad

B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fenestration amendment	MD

REV.	DATE	DRN.	CHKD.
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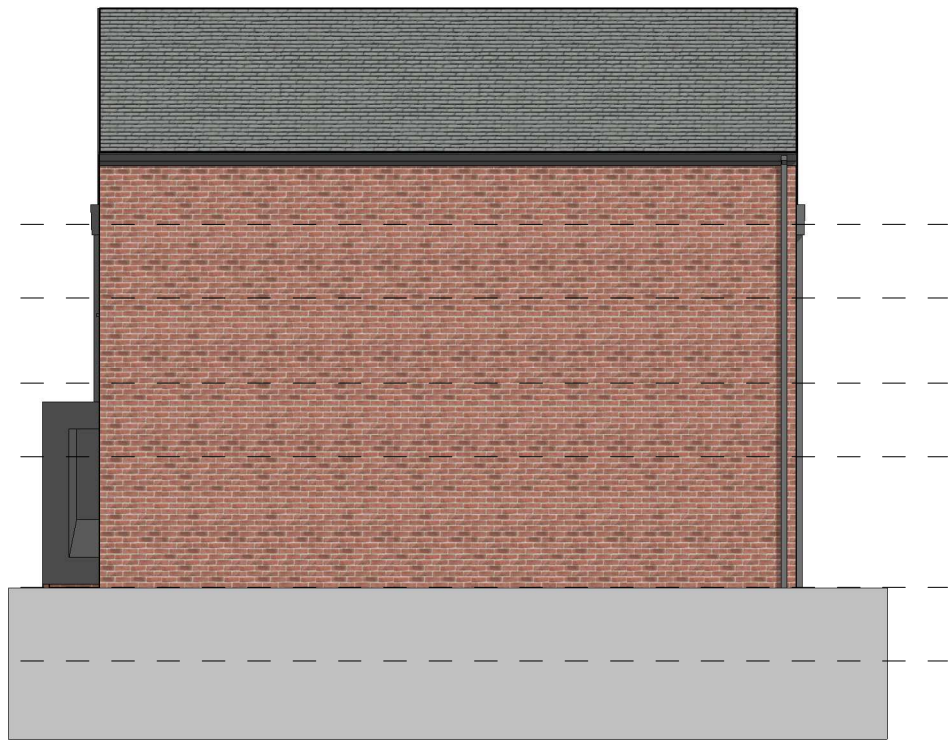
PROJECT Ivy Road, Macclesfield				
CLIENT Peaks & Plains				
DRAWING Block 1 Elevations				
SCALE 1 : 100	SHEET SIZE @ A3	DRAWN PC	CHECKED MD	DATE 23/07/21

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JOB No <b>20-014</b>	DRAWING No <b>1011</b>	REVISION <b>B</b>
STATUS <b>Planning</b>		



**Front**  
1 : 100



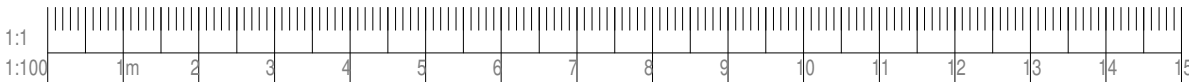
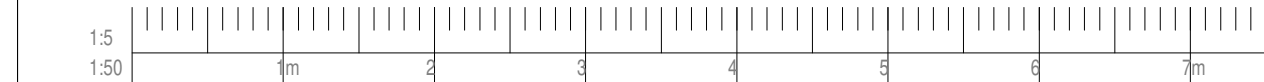
**Right**  
1 : 100



**Back**  
1 : 100



**Left**  
1 : 100



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Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 1	2b4p	00 GF Level	39.8 m²
Plot 1	2b4p	01 FF Level	39.8 m²
			79.5 m²
Plot 2	2b4p	00 GF Level	39.8 m²
Plot 2	2b4p	01 FF Level	39.8 m²
			79.5 m²

B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fenestration amendment	MD

REV.	DATE	DRN.	CHKD.
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PROJECT

Ivy Road, Macclesfield

CLIENT

Peaks & Plains

DRAWING

Block 1 Floor Plans

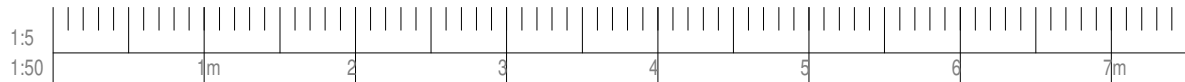
SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@ A3	PC	MD	23/02/21

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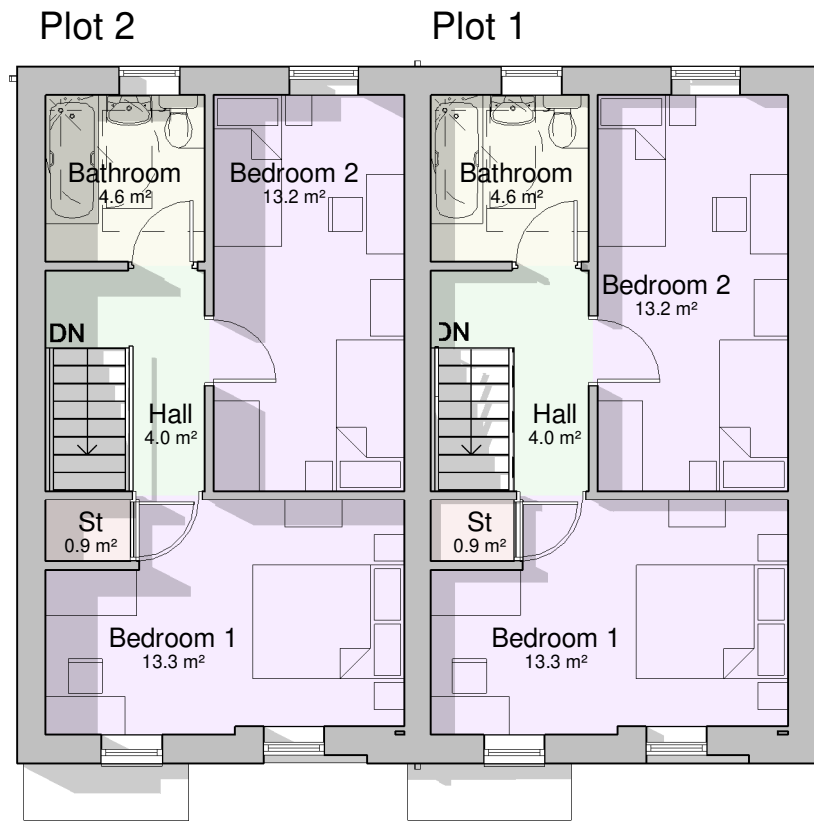
JOB No	DRAWING No	REVISION
20-014	1010	B
STATUS		
Planning		



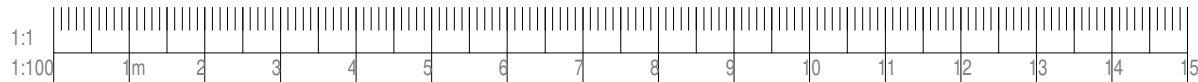
Ground Floor  
1 : 100



P:\2020\20-014\Drawings\planning\refs\ - Block 1.rvt



First Floor  
1 : 100





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Material Schedule

Walls: red brick compatible with local vernacular  
Roofs: thin edge tile  
Projecting surrounds to doors/windows: Metal clad

B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fenestration amendment	MD

REV.	DATE	DRN.	CHKD.
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PROJECT Ivy Road, Macclesfield				
CLIENT Peaks & Plains				
DRAWING Block 2 Elevations				
SCALE 1 : 100	SHEET SIZE @ A3	DRAWN PC	CHECKED MD	DATE 23/07/21

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STATUS <b>Planning</b>		



Front  
1 : 100



Right  
1 : 100



Back  
1 : 100



Left  
1 : 100





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Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 3	2b4p	00 GF Level	39.8 m²
Plot 3	2b4p	01 FF Level	39.8 m²
			79.5 m²
Plot 4	2b4p	00 GF Level	39.8 m²
Plot 4	2b4p	01 FF Level	39.8 m²
			79.5 m²

B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fenestration amendment	MD

REV.	DATE	DRN.	CHKD.
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PROJECT  
Ivy Road, Macclesfield

CLIENT  
Peaks & Plains

DRAWING  
Block 2 Floor Plans

SCALE  
1 : 100

SHEET SIZE  
@ A3

DRAWN  
PC

CHECKED  
MD

DATE  
23/02/21

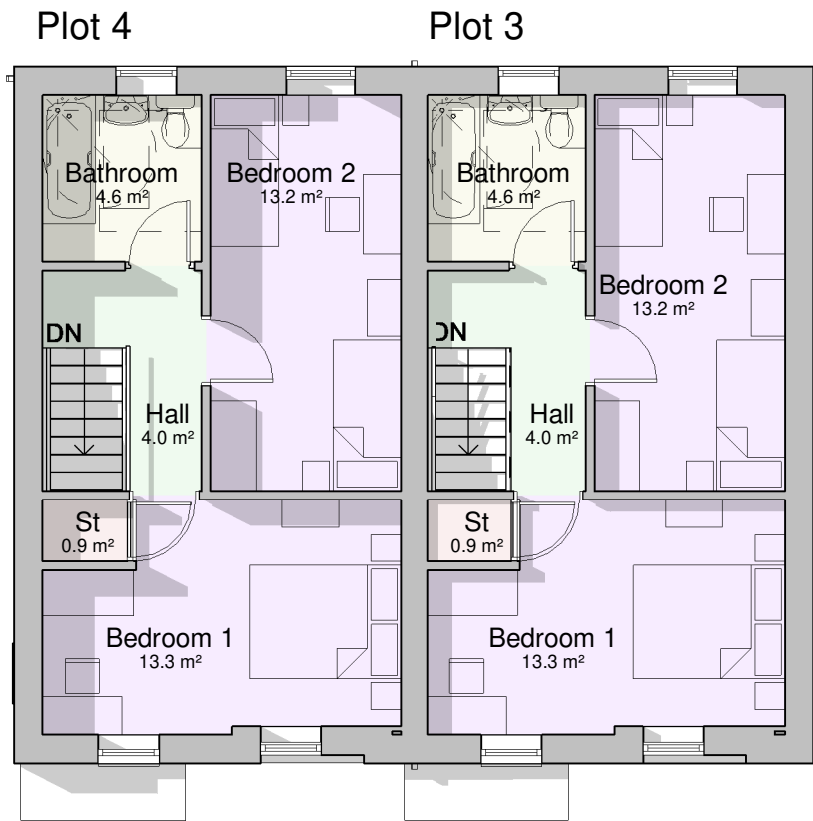
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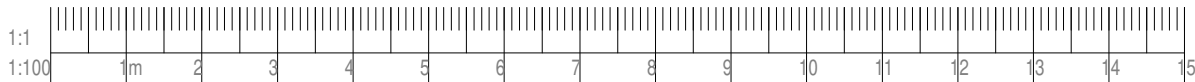
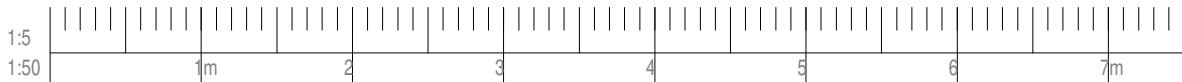
JOB No <b>20-014</b>	DRAWING No <b>1015</b>	REVISION <b>B</b>
STATUS <b>Planning</b>		



Ground Floor  
1 : 100



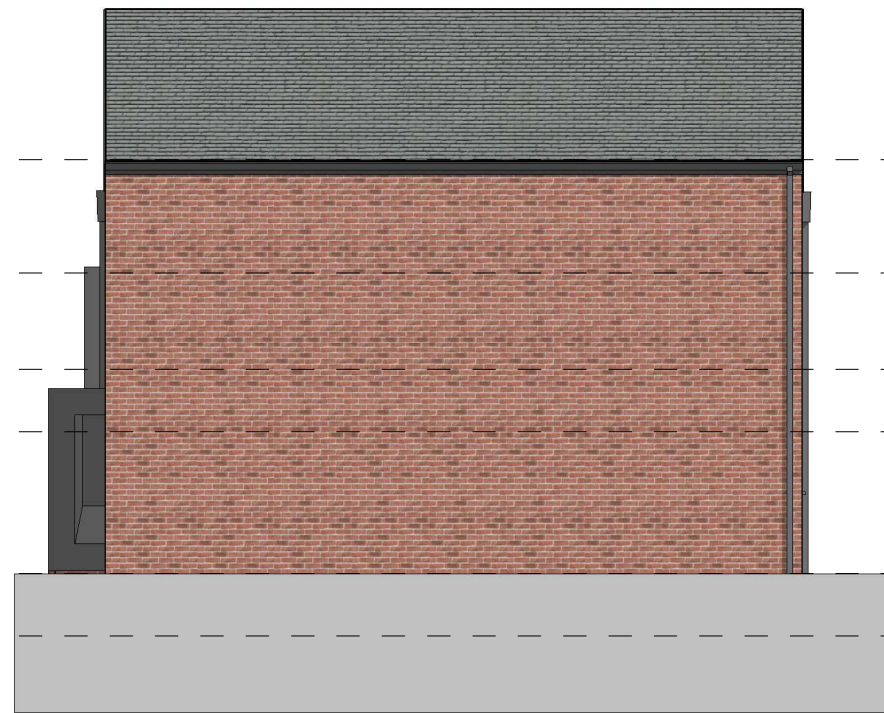
First Floor  
1 : 100







**Front**  
1 : 100



**Right**  
1 : 100



**Back**  
1 : 100



**Left**  
1 : 100

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#### Material Schedule

Walls: red brick compatible with local vernacular  
Roofs: thin edge tile  
Projecting surrounds to doors/windows: Metal clad

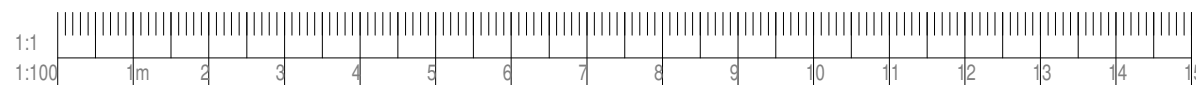
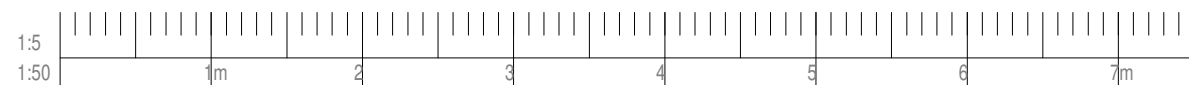
B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fernestration amendments	MD

REV.	DATE	DRN.	CHKD.
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PROJECT Ivy Road, Macclesfield				
CLIENT Peaks & Plains				
DRAWING Block 3 Elevations				
SCALE 1 : 100	SHEET SIZE @ A3	DRAWN PC	CHECKED MD	DATE 23/07/21

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Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 5	2b4p	00 GF Level	39.8 m²
Plot 5	2b4p	01 FF Level	39.8 m²
			79.5 m²
Plot 6	2b4p	00 GF Level	39.7 m²
Plot 6	2b4p	01 FF Level	39.3 m²
			79.0 m²

B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fernestration amendments	MD

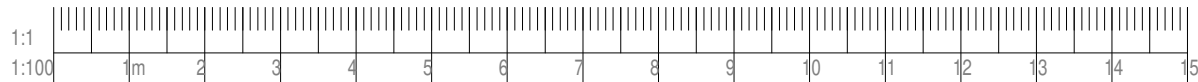
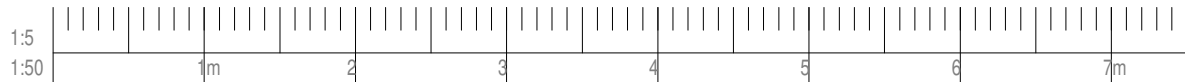
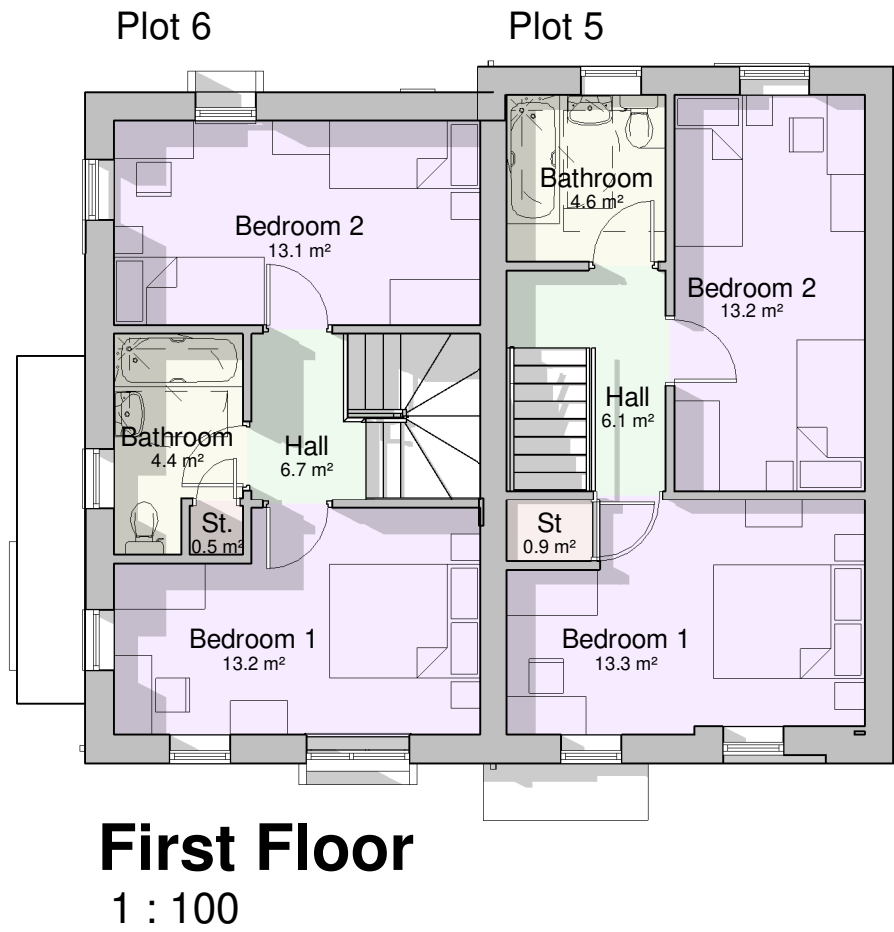
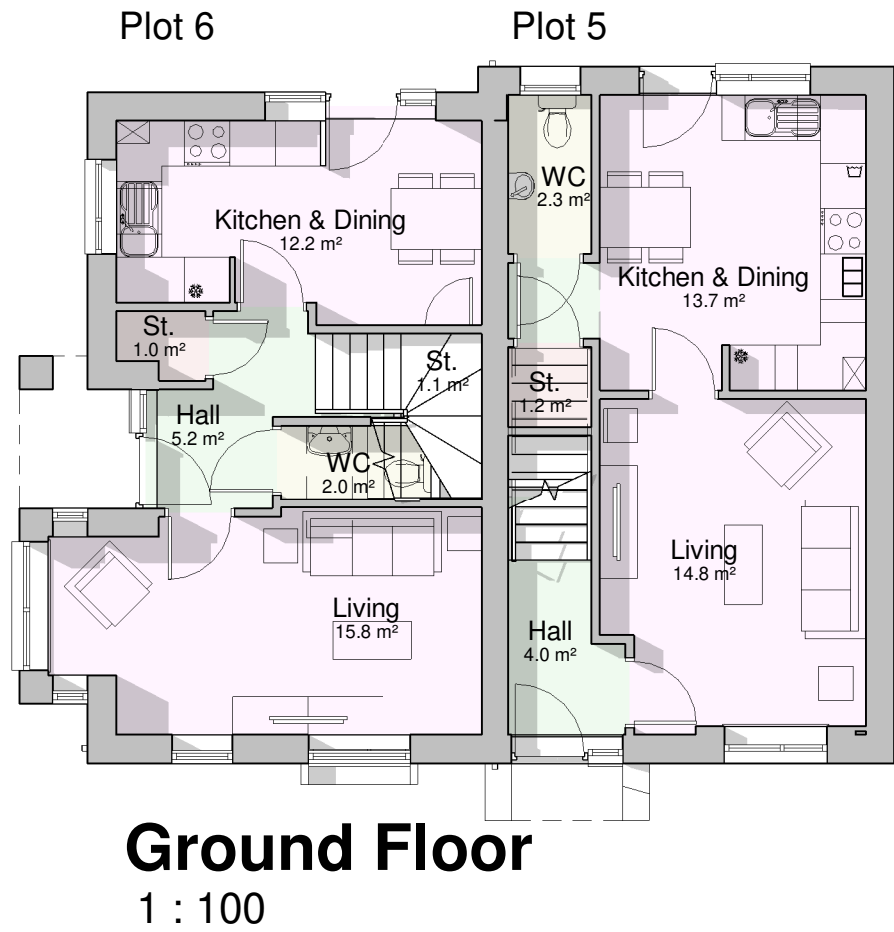
REV.	DATE	DRN.	CHKD.
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PROJECT Ivy Road, Macclesfield				
CLIENT Peaks & Plains				
DRAWING Block 3 Floor Plans				
SCALE 1 : 100	SHEET SIZE @ A3	DRAWN PC	CHECKED MD	DATE 23/02/21

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JOB No 20-014	DRAWING No 1020	REVISION B
STATUS Planning		





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Material Schedule

Walls: red brick compatible with local vernacular  
Roofs: thin edge tile  
Projecting surrounds to doors/windows: Metal clad



Front  
1 : 100



Right  
1 : 100



Back  
1 : 100



Left  
1 : 100

B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fenestration amendment	MD

REV.	DATE	DRN.	CHKD.
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PROJECT  
Ivy Road, Macclesfield

CLIENT  
Peaks & Plains

DRAWING  
Block 4 Elevations

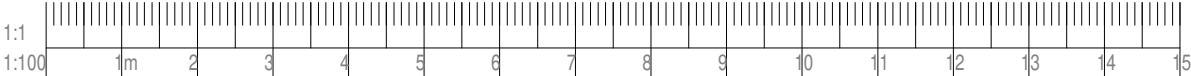
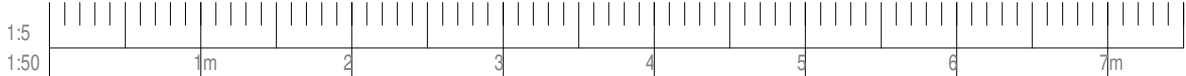
SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@ A2	PC	MD	09/08/21

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JOB No	DRAWING No	REVISION
20-014	1026	B

STATUS  
Planning





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Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 7	3b5p	01 FF Level	46.1 m²
Plot 7	3b5p	00 GF Level	47.8 m²
			93.9 m²
Plot 8	3b5p	01 FF Level	47.5 m²
Plot 8	3b5p	00 GF Level	46.4 m²
			94.0 m²

B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fenestration amendment	MD

REV.	DATE	DRN.	CHKD.
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PROJECT  
Ivy Road, Macclesfield

CLIENT  
Peaks & Plains

DRAWING  
Block 4 Floor Plans

SCALE  
1 : 100

SHEET SIZE  
@ A3

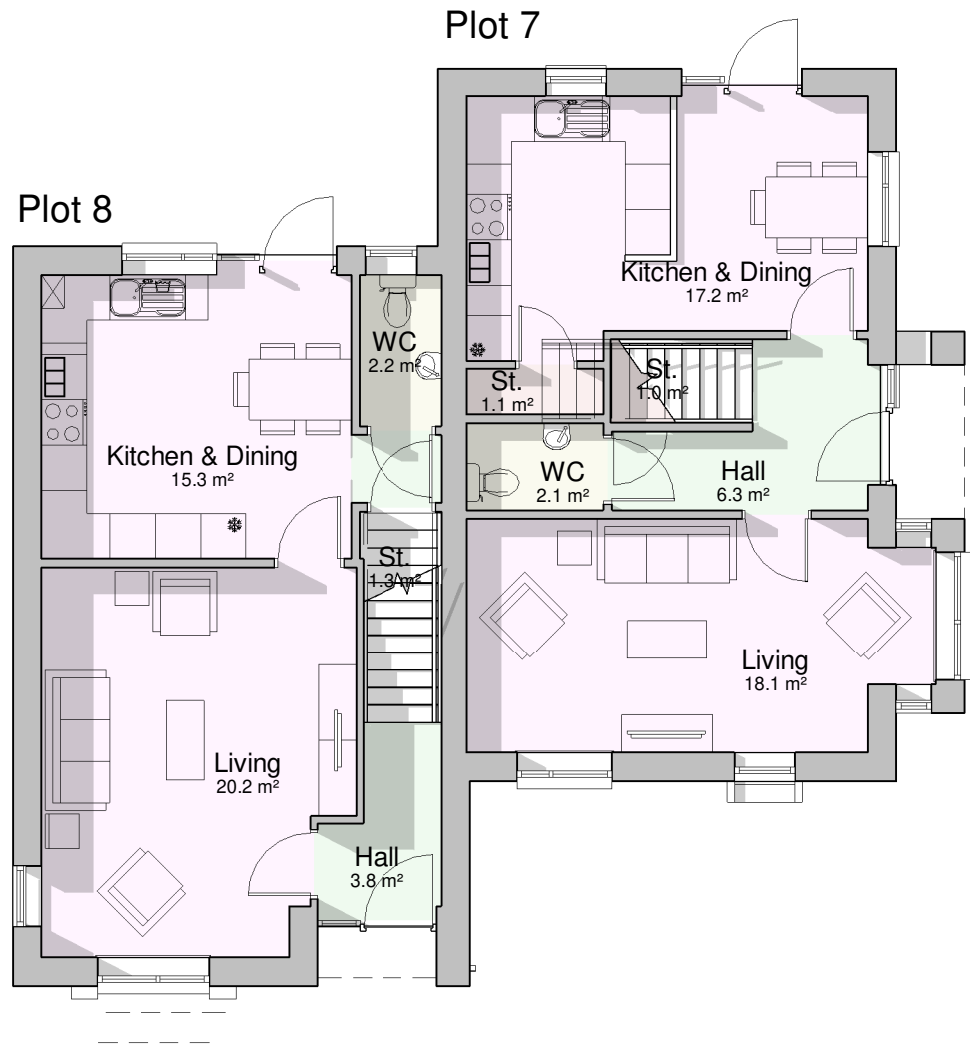
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PC

CHECKED  
MD

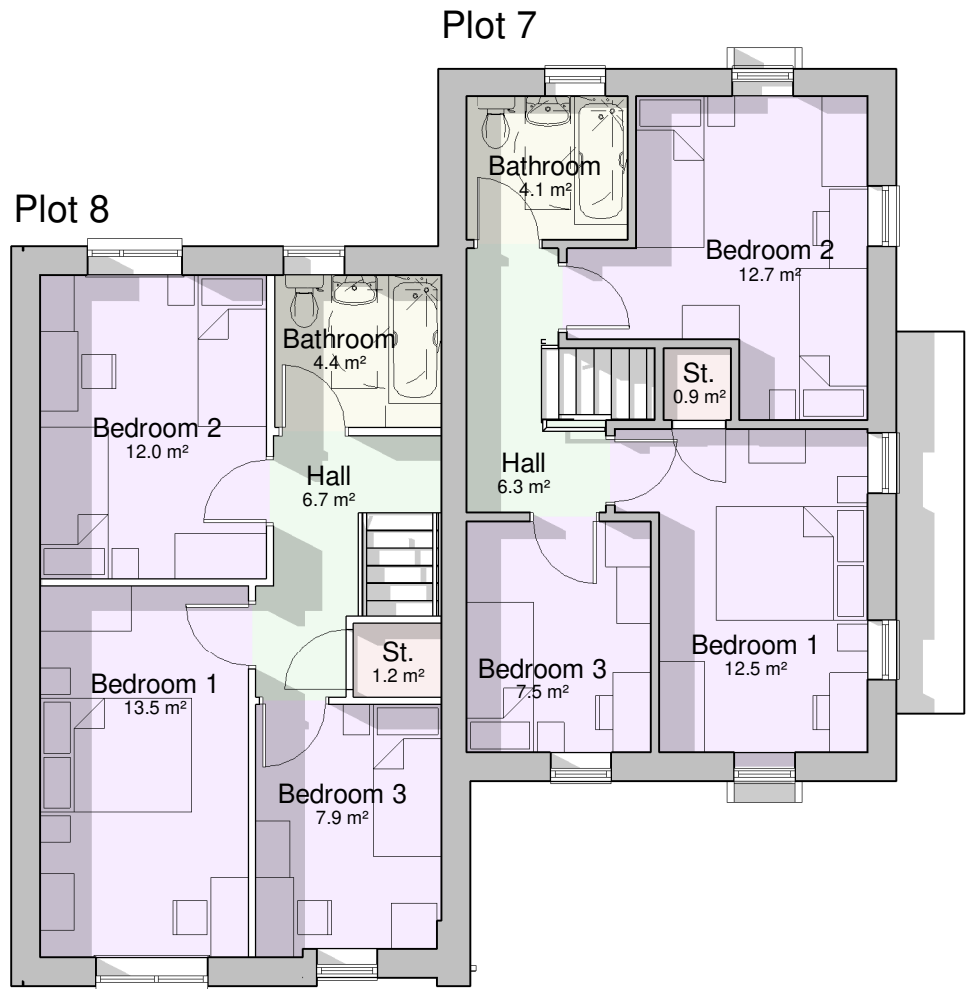
DATE

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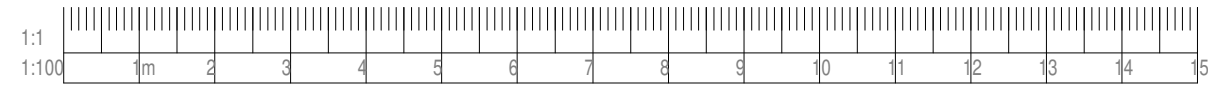
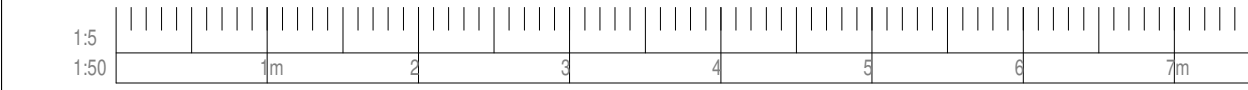
JOB No <b>20-014</b>	DRAWING No <b>1025</b>	REVISION <b>B</b>
STATUS		Planning



Ground Floor  
1 : 100



First Floor  
1 : 100



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DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Material Schedule

Walls: red brick compatible with local vernacular  
Roofs: thin edge tile  
Projecting surrounds to doors/windows: Metal clad

B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fenestration amendments	MD

REV.	DATE	DRN.	CHKD.
------	------	------	-------

PROJECT Ivy Road, Macclesfield				
CLIENT Peaks & Plains				
DRAWING Block 5 Elevations				
SCALE 1 : 100	SHEET SIZE @ A3	DRAWN PC	CHECKED MD	DATE 09/08/21

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JOB No <b>20-014</b>	DRAWING No <b>1031</b>	REVISION <b>B</b>
STATUS <b>Planning</b>		



Front  
1 : 100



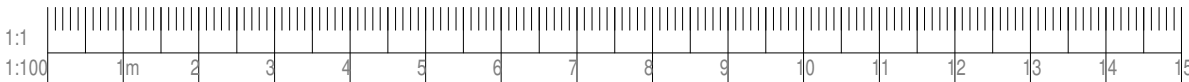
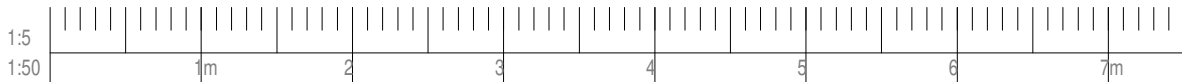
Right  
1 : 100



Back  
1 : 100



Left  
1 : 100





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Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 9	3b5p	01 FF Level	48.0 m²
Plot 9	3b5p	00 GF Level	46.4 m²
			94.4 m²
Plot 10	3b5p	01 FF Level	47.6 m²
Plot 10	3b5p	00 GF Level	46.4 m²
			94.0 m²

B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fenestration amendments	MD

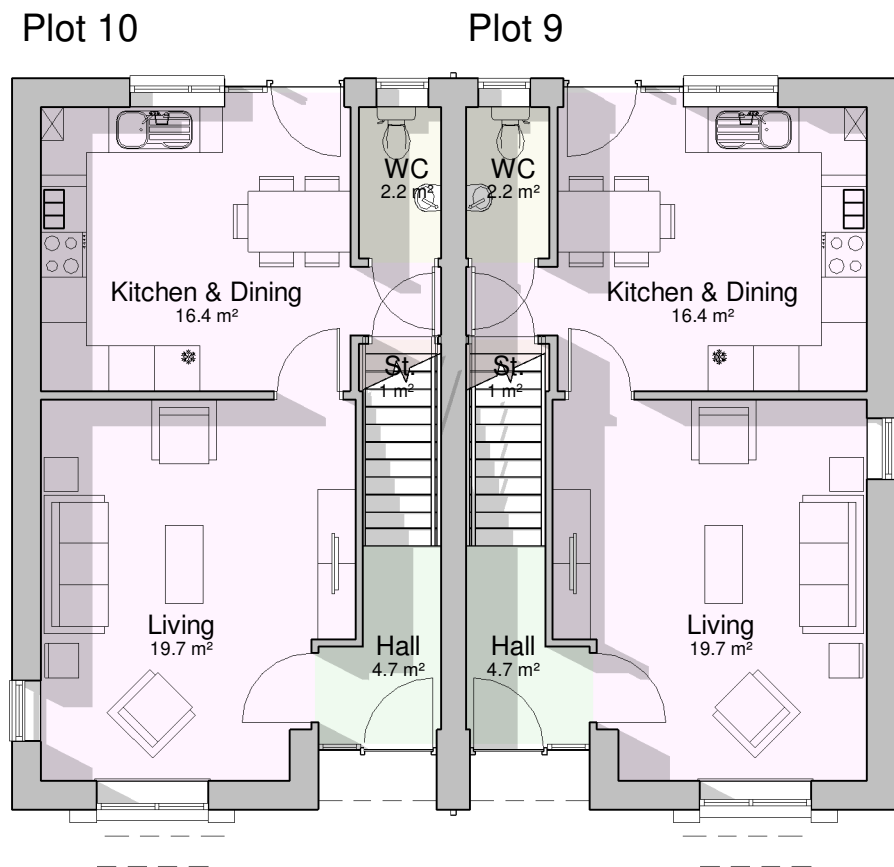
REV.	DATE	DRN.	CHKD.
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PROJECT Ivy Road, Macclesfield				
CLIENT Peaks & Plains				
DRAWING Block 5 Floor Plans				
SCALE 1 : 100	SHEET SIZE @ A3	DRAWN PC	CHECKED MD	DATE 09/08/21

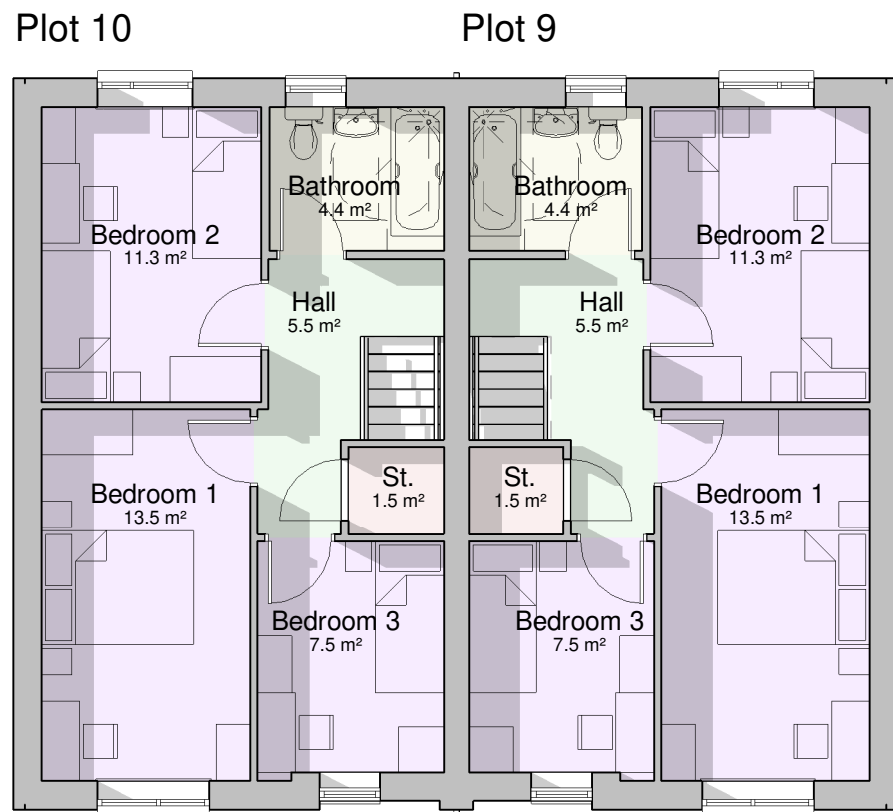
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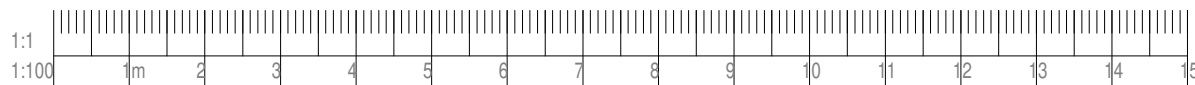
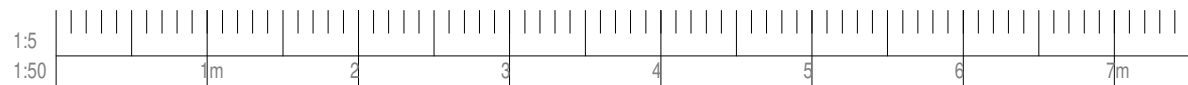
JOB No 20-014	DRAWING No 1030	REVISION B
STATUS Planning		



Ground Floor  
1 : 100



First Floor  
1 : 100





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Material Schedule

Walls: red brick compatible with local vernacular

Roofs: thin edge tile

Projecting surrounds to doors/windows: Metal clad

B 20/09/22 KS Revision to accommodate planning comments MD

A 29/03/22 TM Fenestration amendment MD

REV.	DATE	DRN.	CHKD.
------	------	------	-------

PROJECT

Ivy Road, Macclesfield

CLIENT

Peaks & Plains

DRAWING

Block 6 Elevations

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@ A2	PC	MD	10/08/21

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JOB No	DRAWING No	REVISION
20-014	1036	B
STATUS		
Planning		



Front

1 : 100



Right

1 : 100



Back

1 : 100



Left

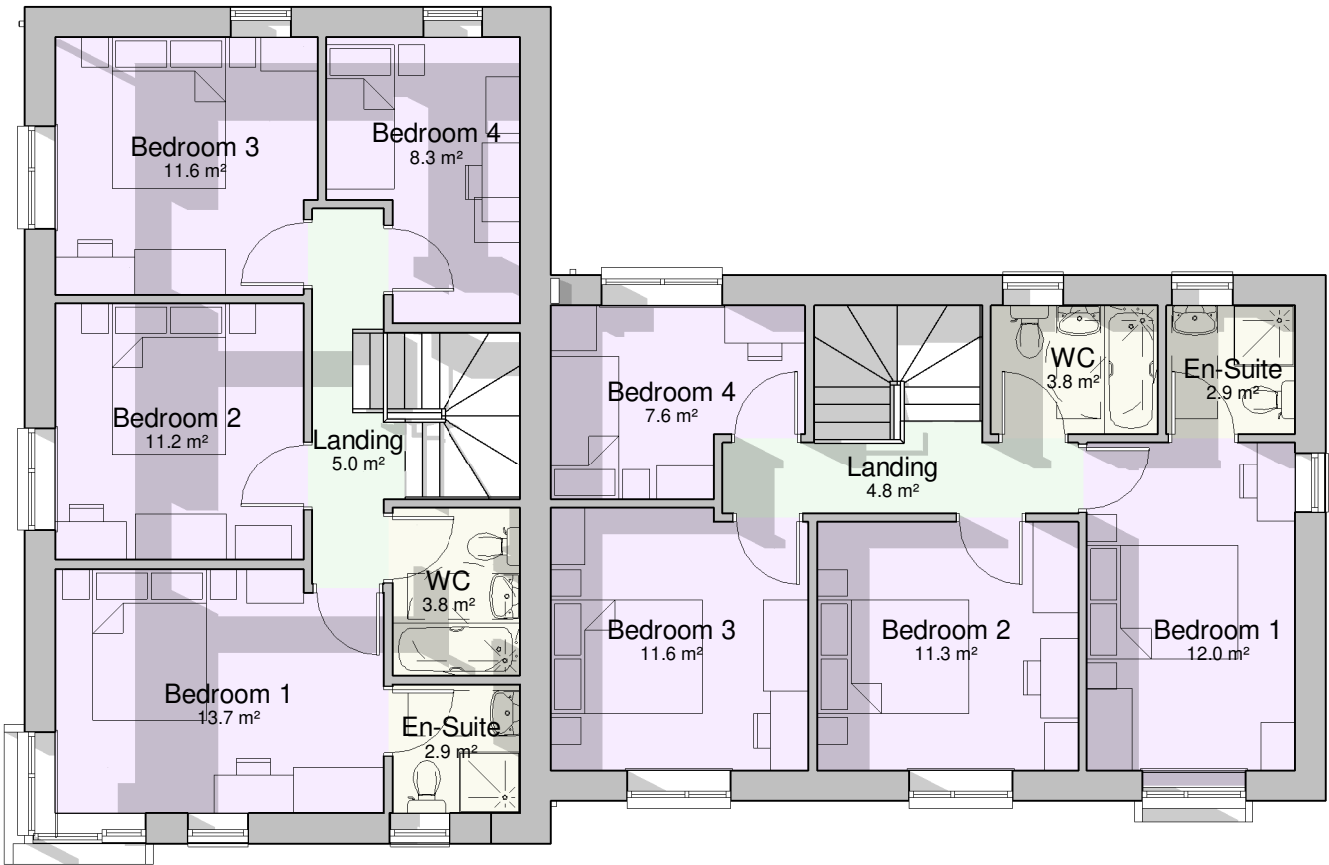
1 : 100





First Floor

1 : 100



Ground Floor

1 : 100



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DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 11	4b7p	01 FF Level	60.6 m²
Plot 11	4b7p	00 GF Level	56.1 m²
			116.7 m²
Plot 12	4b7p	01 FF Level	63.2 m²
Plot 12	4b7p	00 GF Level	58.4 m²
			121.6 m²

B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fenestration amendment	MD

REV.	DATE	DRN.	CHKD.
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PROJECT

Ivy Road, Macclesfield

CLIENT

Peaks & Plains

DRAWING

Block 6 Floor Plans

SCALE

1 : 100

SHEET SIZE

@ A3

DRAWN

PC

CHECKED

MD

DATE

10/08/21

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20-014	1035	B
STATUS		
Planning		



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Material Schedule

Walls: buff/pink brick compatible with local vernacular

Roofs: thin edge tile

Projecting surrounds to doors/windows: Metal clad

Obs. - Obscured Glazing



Front  
1 : 100



Right  
1 : 100



Back  
1 : 100



Left  
1 : 100

A 29/03/22 TM Fenestration amendment MD

REV.	DATE	DRN.	CHKD.
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PROJECT  
Ivy Road, Macclesfield

CLIENT  
Peaks & Plains

DRAWING  
Block 7 Elevations

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@ A2	PC	MD	02/08/21

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JOB No	DRAWING No	REVISION
20-014	1041	A

STATUS

Planning





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■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 13	1b2b	00 GF Level	51.6 m²
			51.6 m²
Plot 14	1b2b	01 FF Level	55.3 m²
		00 GF Level	3.0 m²
Plot 15	1b2b	00 GF Level	51.6 m²
			51.6 m²
Plot 16	1b2b	01 FF Level	55.5 m²
		00 GF Level	3.0 m²
Plot 17	1b2b	00 GF Level	51.5 m²
			51.5 m²
Plot 18	1b2b	01 FF Level	50.0 m²
		00 GF Level	3.0 m²
			53.0 m²

A 29/03/22 TM Fenestration amendment MD

REV.	DATE	DRN.	CHKD.
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PROJECT

Ivy Road, Macclesfield

CLIENT

Peaks & Plains

DRAWING

Block 7 Floor Plans

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@ A2	PC	MD	08/08/21

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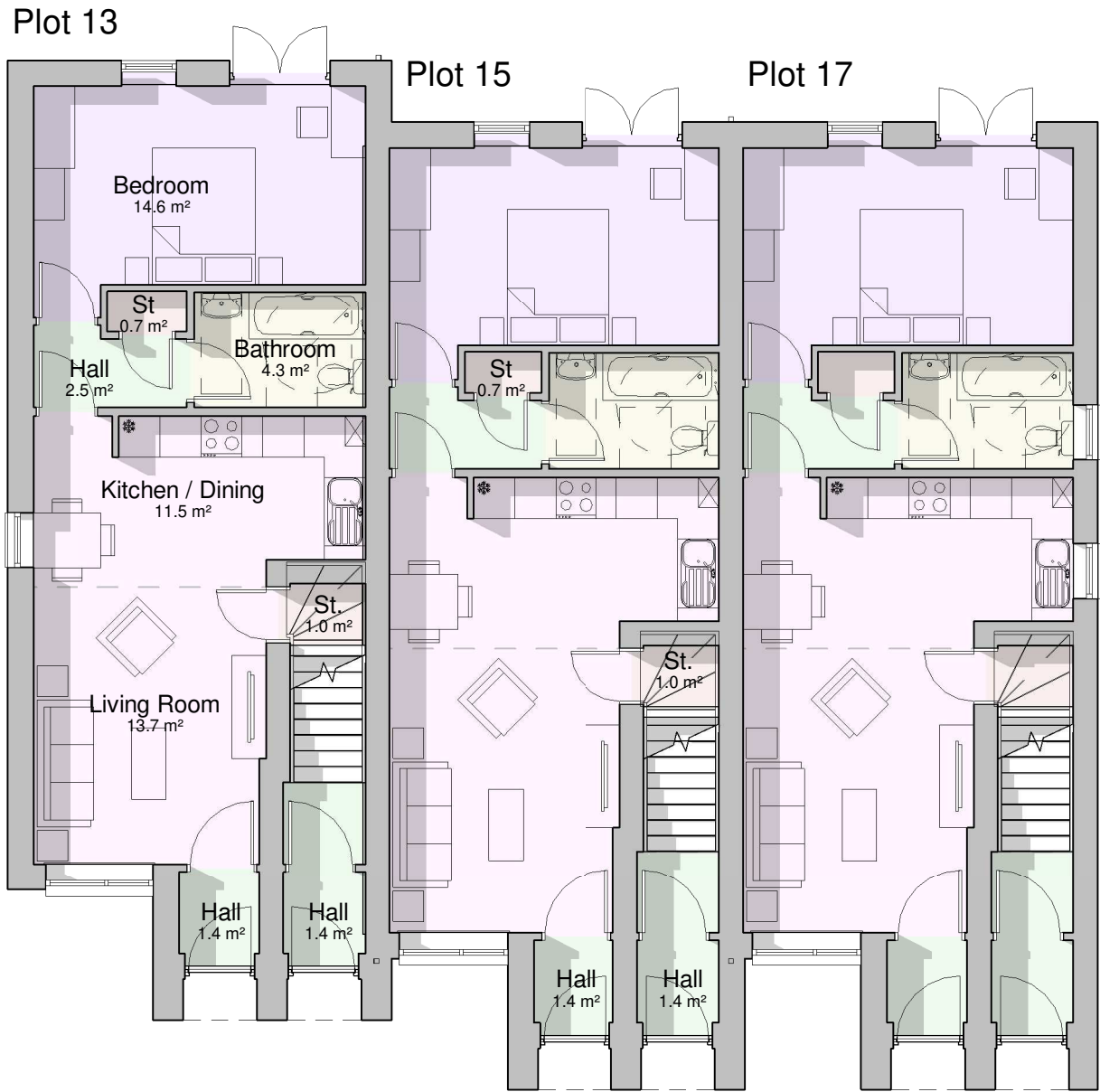
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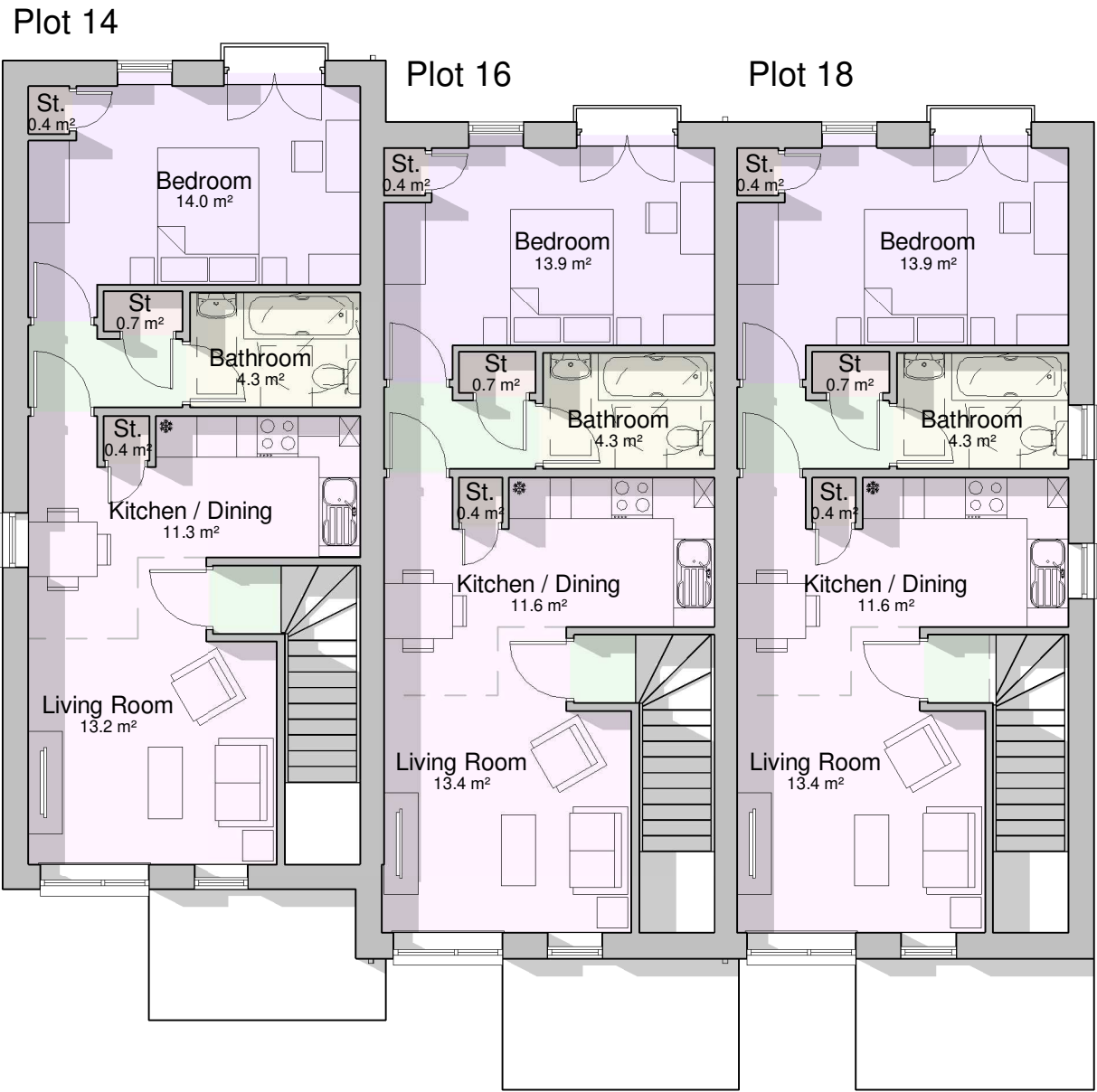
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JOB No	DRAWING No	REVISION
20-014	1040	A
STATUS		
Planning		



Ground Floor

1 : 100



First Floor

1 : 100





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■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Material Schedule

Walls: red brick compatible with local vernacular

Roofs: thin edge tile

Projecting surrounds to doors/windows: Metal clad



Front  
1 : 100



Right  
1 : 100



Back  
1 : 100



Left  
1 : 100

B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fenestration amanements	MD

REV.	DATE	DRN.	CHKD.
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PROJECT  
Ivy Road, Macclesfield

CLIENT  
Peaks & Plains

DRAWING  
Block 8 Elevations

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@ A2	PC	MD	23/07/21

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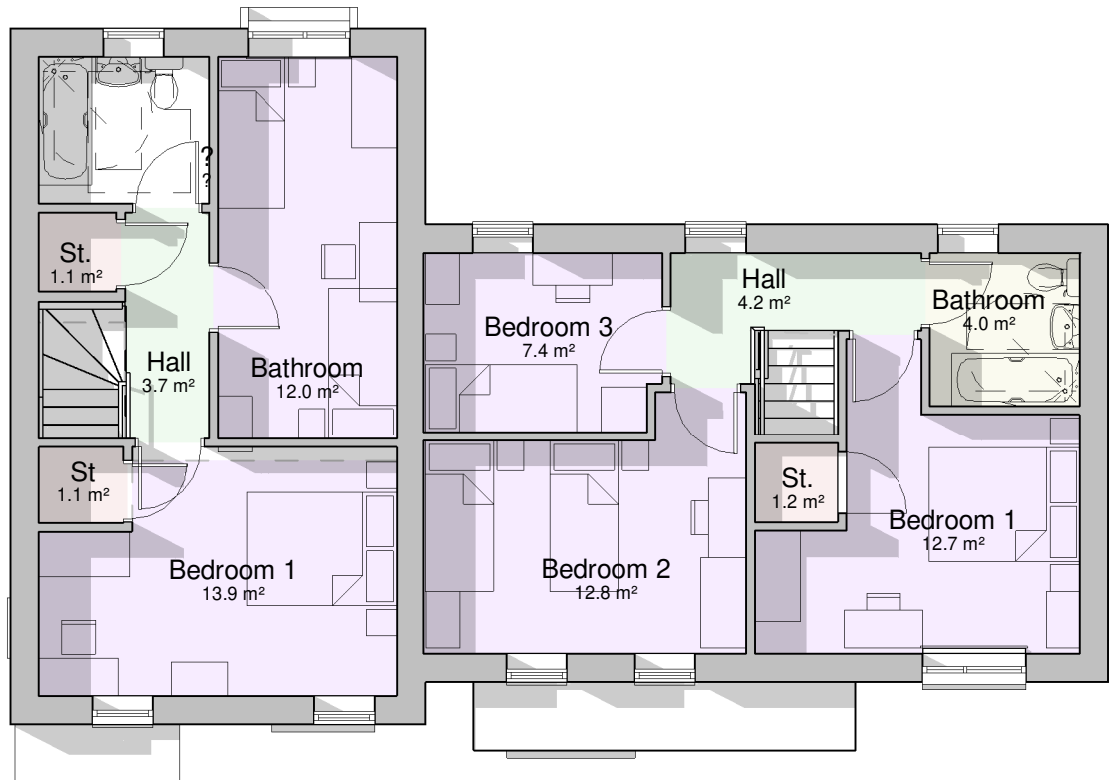
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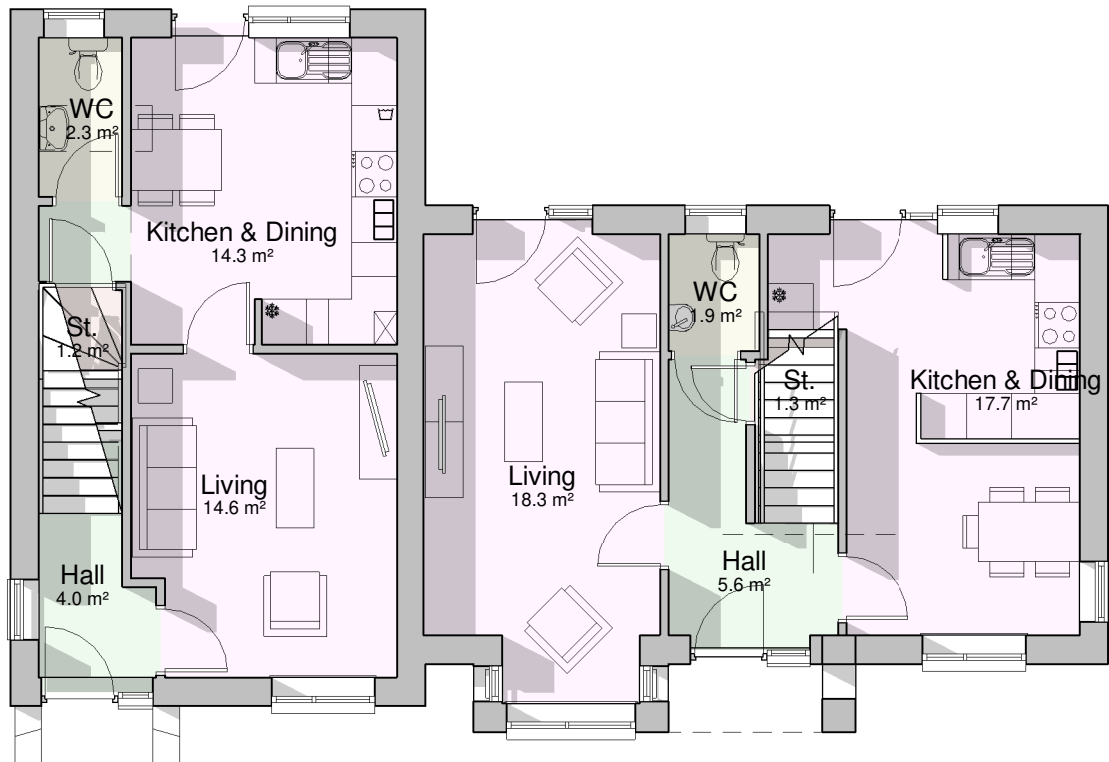
JOB No <b>20-014</b>	DRAWING No <b>1046</b>	REVISION <b>B</b>
STATUS <b>Planning</b>		



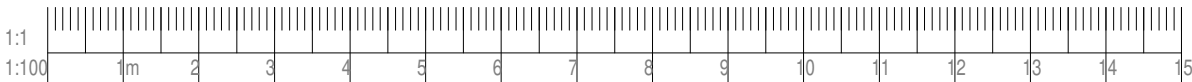
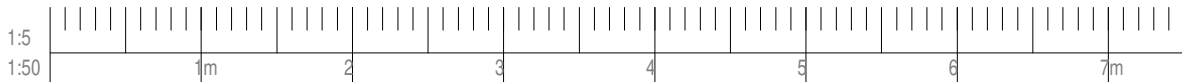




First Floor  
1 : 100



Ground Floor  
1 : 100



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DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 19	3b5p	00 GF Level	40.1 m <sup>2</sup>
Plot 19	3b5p	01 FF Level	40.1 m <sup>2</sup>
			80.3 m <sup>2</sup>
Plot 20	2b4p	00 GF Level	47.8 m <sup>2</sup>
Plot 20	2b4p	01 FF Level	46.1 m <sup>2</sup>
			93.9 m <sup>2</sup>

B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fenestration amanements	MD

REV.	DATE	DRN.	CHKD.	
PROJECT Ivy Road, Macclesfield				
CLIENT Peaks & Plains				
DRAWING Block 8 Floor Plans				
SCALE 1 : 100	SHEET SIZE @ A3	DRAWN PC	CHECKED MD	DATE 03/08/21

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STATUS Planning		



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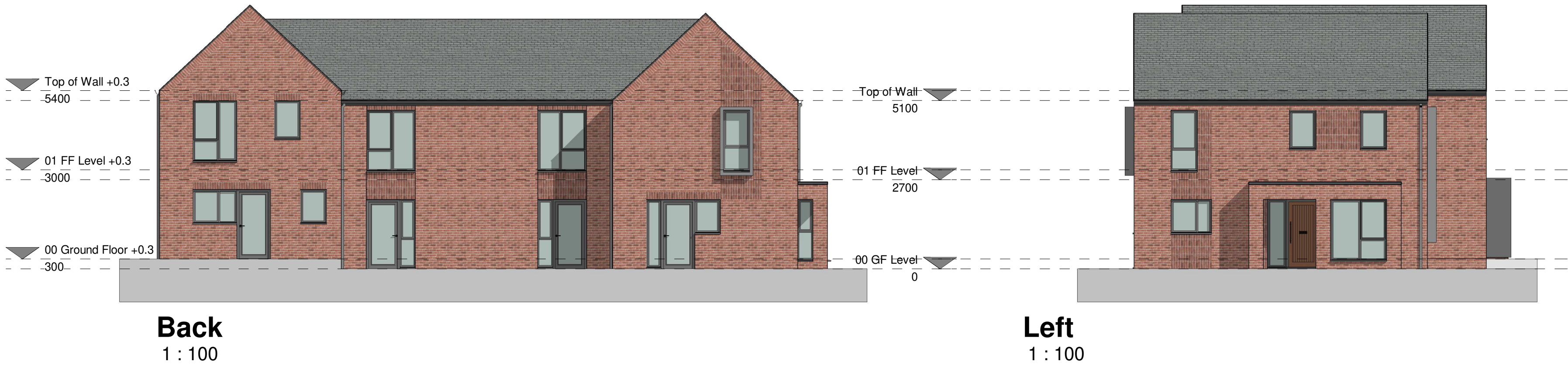
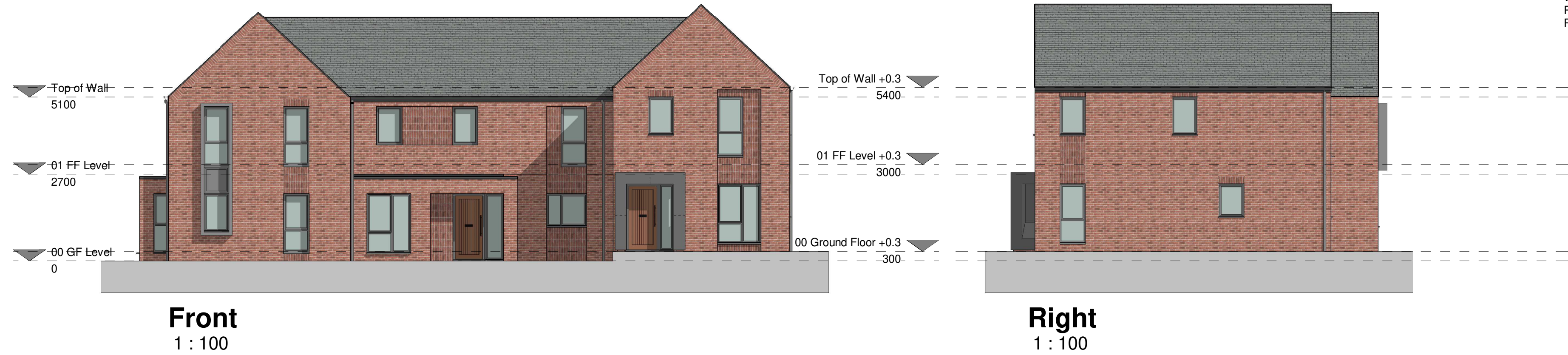
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Material Schedule

Walls: red brick compatible with local vernacular

Roofs: thin edge tile

Projecting surrounds to doors/windows: Metal clad



B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fenestration amendment	MD

REV.	DATE	DRN.	CHKD.
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PROJECT  
Ivy Road, Macclesfield

CLIENT  
Peaks & Plains

DRAWING  
Block 9 Elevations

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@ A2	PC	MD	23/07/21

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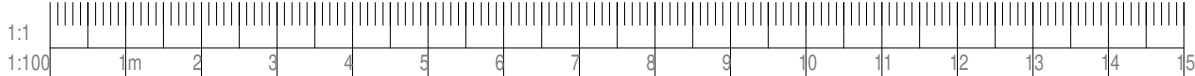
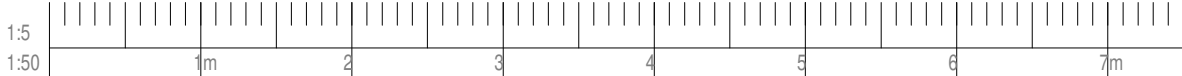
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JOB No	DRAWING No	REVISION
20-014	1051	B

STATUS  
Planning





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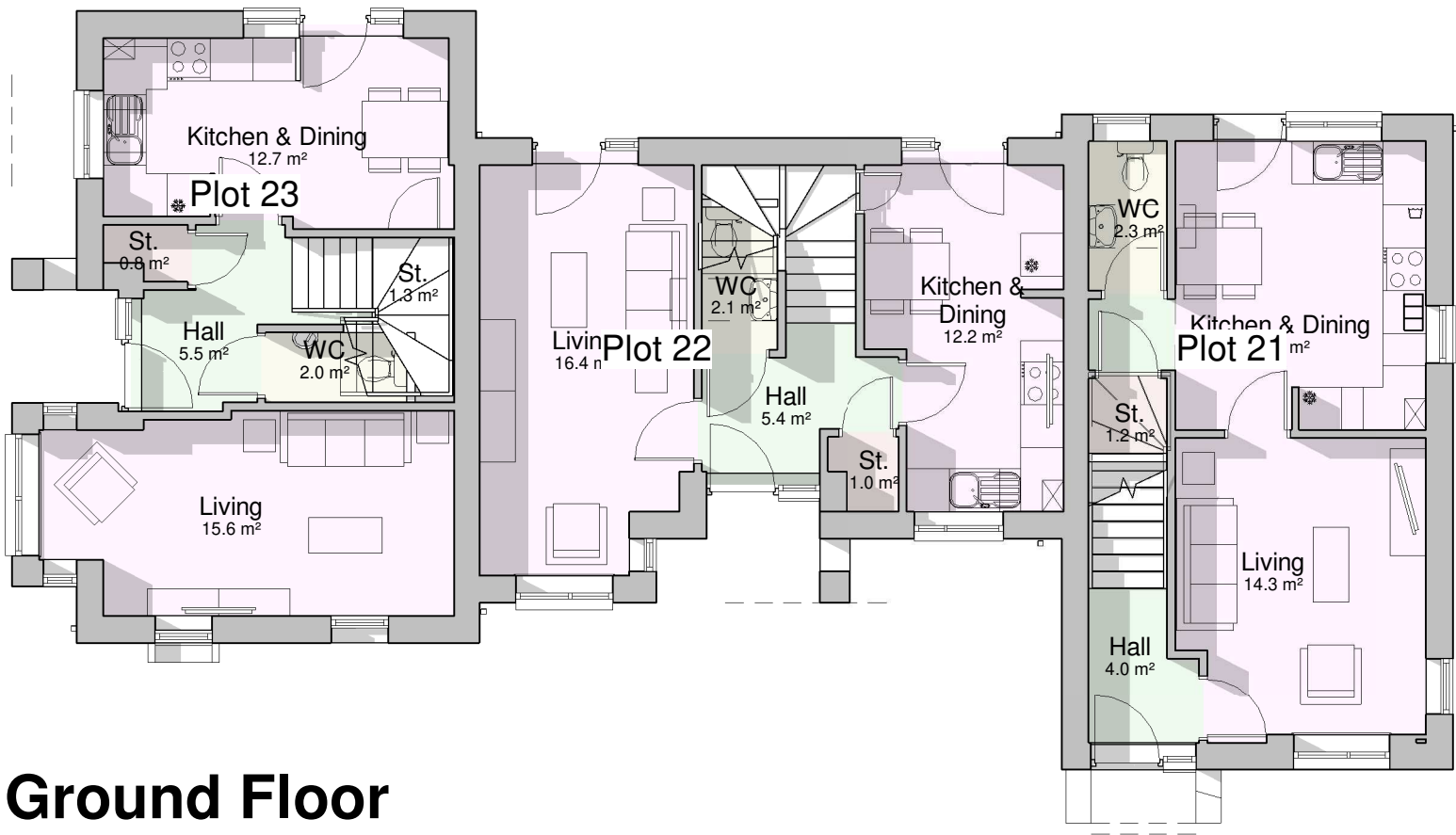
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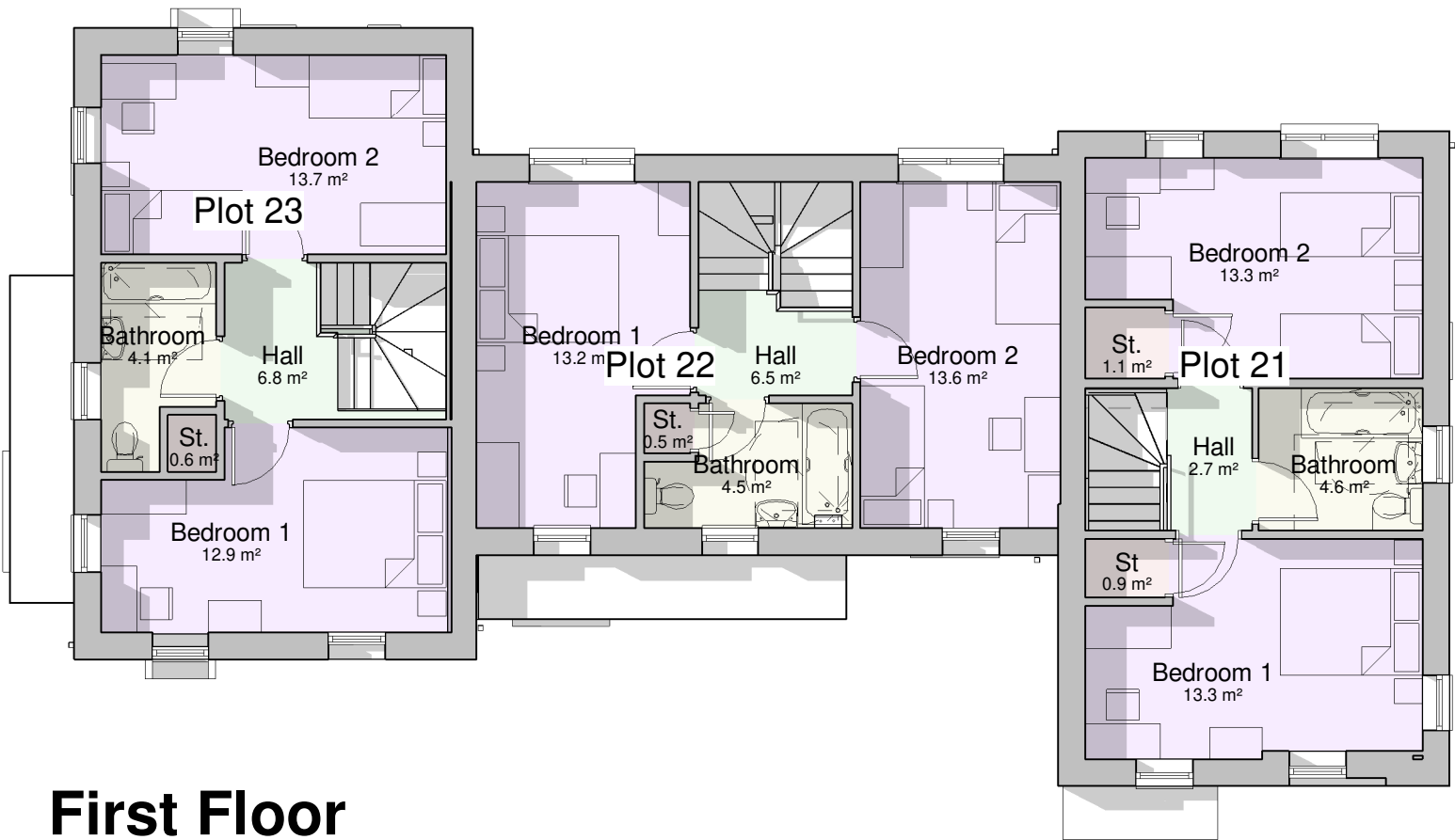
■ CHECK ALL DIMENSIONS ON SITE

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Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 21	2b4p	00 GF Level	39.8 m²
Plot 21	2b4p	01 FF Level	39.9 m²
			79.7 m²
Plot 22	2b4p	00 GF Level	40.4 m²
Plot 22	2b4p	01 FF Level	39.9 m²
			80.2 m²
Plot 23	2b4p	00 GF Level	40.0 m²
Plot 23	2b4p	01 FF Level	39.7 m²
			79.7 m²



Ground Floor  
1 : 100



First Floor  
1 : 100

B 20/09/22 KS Revision to accommodate planning comments MD  
A 29/03/22 TM Fenestration amendment MD

REV.	DATE	DRN.	CHKD.
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PROJECT  
Ivy Road, Macclesfield

CLIENT  
Peaks & Plains

DRAWING  
Block 9 Floor Plans

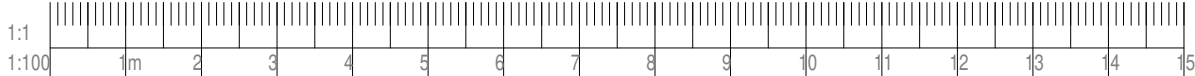
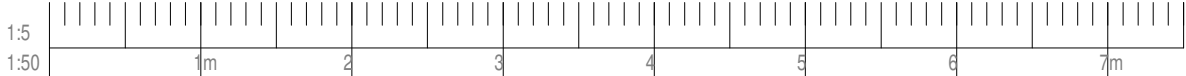
SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@ A2	PC	MD	03/08/21

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JOB No	DRAWING No	REVISION
20-014	1050	B

STATUS  
Planning







Front  
1 : 100



Right  
1 : 100



Back  
1 : 100



Left  
1 : 100

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CHECK ALL DIMENSIONS ON SITE

DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Material Schedule

Walls: buff/pink brick compatible with local vernacular  
Roofs: thin edge tile  
Projecting surrounds to doors/windows: Metal clad

A	29/03/22	TM	Fenestration amendments	MD
REV.	DATE	DRN.		CHKD.

PROJECT Ivy Road, Macclesfield				
CLIENT Peaks & Plains				
DRAWING Block 10 Elevations				
SCALE 1 : 100	SHEET SIZE @ A3	DRAWN PC	CHECKED MD	DATE 13/08/21

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JOB No 20-014	DRAWING No 1056	REVISION A
STATUS Planning		





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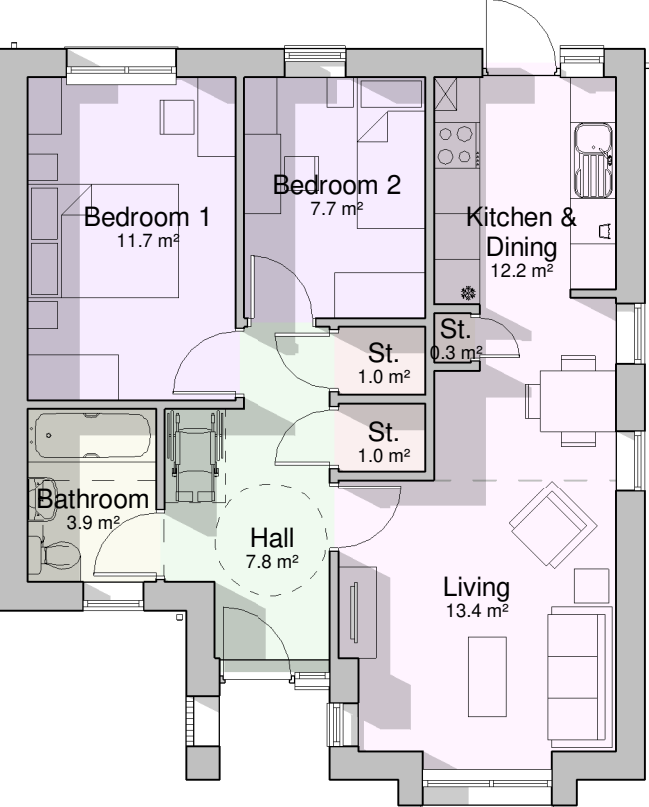
REPORT ERRORS & OMISSIONS TO ARCHITECT.

CHECK ALL DIMENSIONS ON SITE

DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 24	2b3p	00 GF Level	62.1 m²
			62.1 m²

Plot 24



Ground Floor  
1 : 100

REV.	DATE	DRN.	CHKD.	
PROJECT Ivy Road, Macclesfield				
CLIENT Peaks & Plains				
DRAWING Block 10 Floor Plans				
SCALE 1 : 100	SHEET SIZE @ A3	DRAWN PC	CHECKED MD	DATE 13/08/21

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JOB No <b>20-014</b>	DRAWING No <b>1055</b>	REVISION
STATUS		<b>Planning</b>



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Material Schedule

Walls: red brick compatible with local vernacular

Roofs: thin edge tile

Projecting surrounds to doors/windows: Metal clad



B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fenestration amendments	MD

REV.	DATE	DRN.	CHKD.
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PROJECT  
Ivy Road, Macclesfield

CLIENT  
Peaks & Plains

DRAWING  
Block 11 Elevations

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@ A2	PC	MD	12/08/21

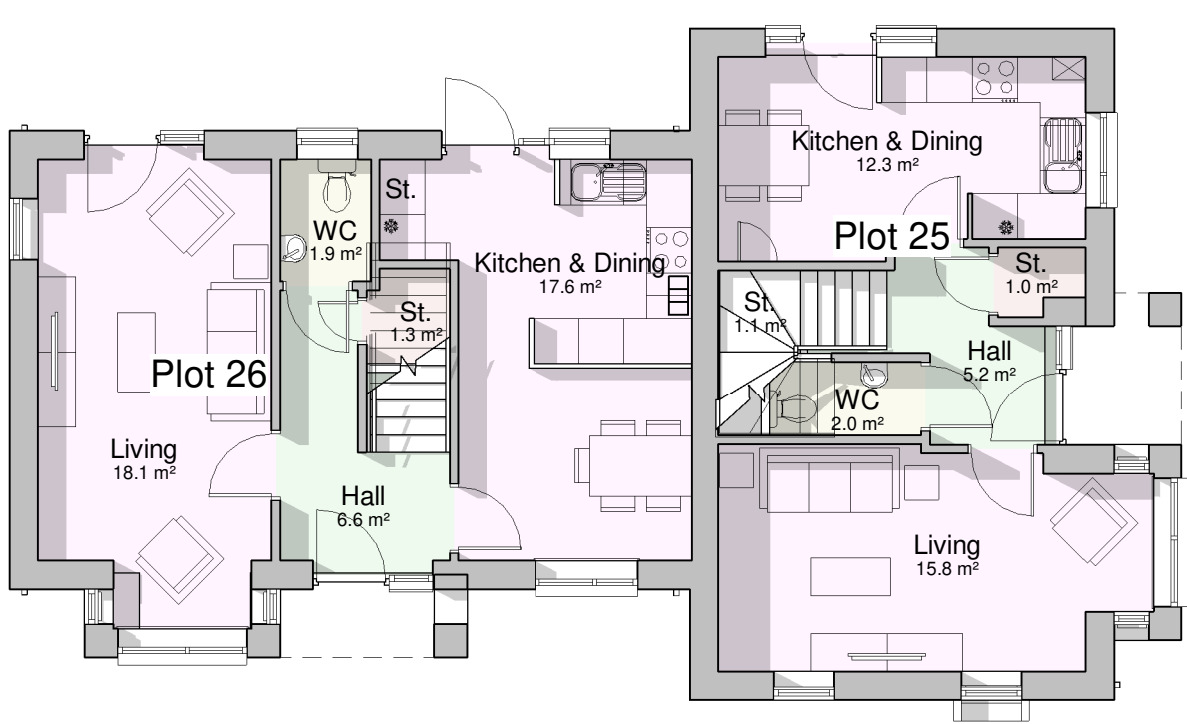
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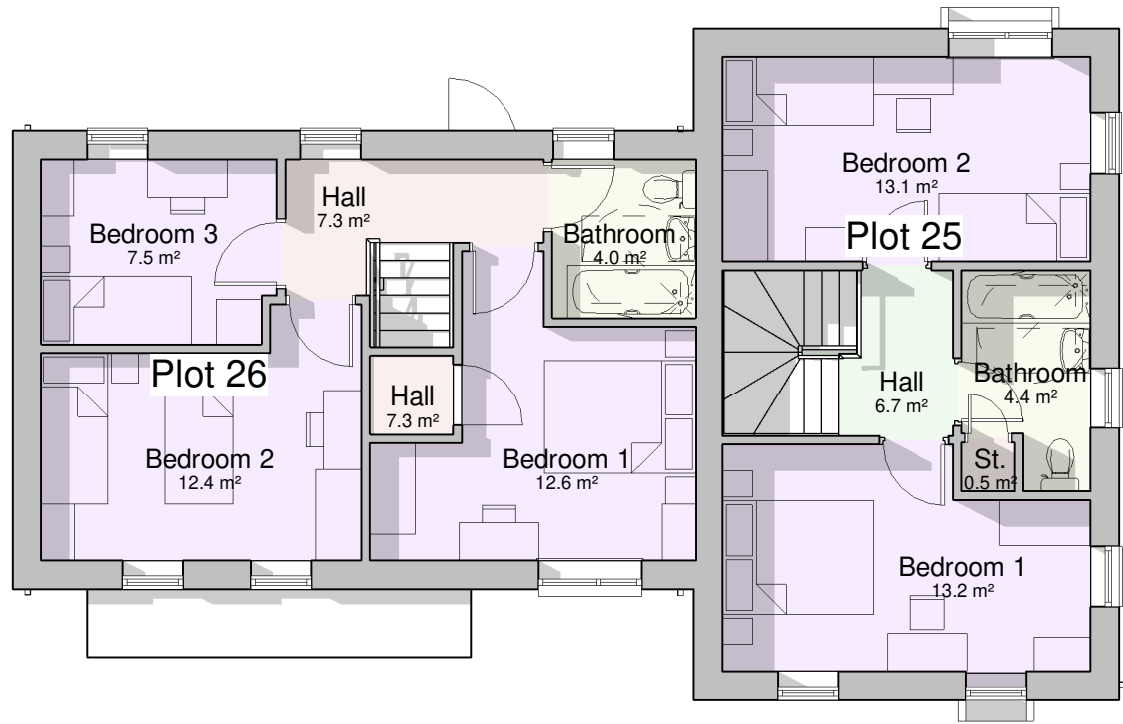
JOB No <b>20-014</b>	DRAWING No <b>1061</b>	REVISION <b>B</b>
STATUS <b>Planning</b>		







Ground Floor  
1 : 100



First Floor  
1 : 100

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Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 25	2b4p	00 GF Level	39.8 m²
Plot 25	2b4p	01 FF Level	39.3 m²
			79.1 m²
Plot 26	2b4p	00 GF Level	47.6 m²
Plot 26	2b4p	01 FF Level	45.9 m²
			93.5 m²

B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03/22	TM	Fenestration amendments	MD

REV.	DATE	DRN.	CHKD.
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PROJECT  
Ivy Road, Macclesfield

CLIENT  
Peaks & Plains

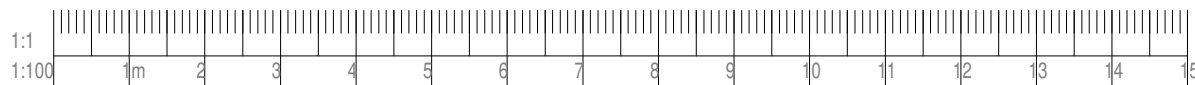
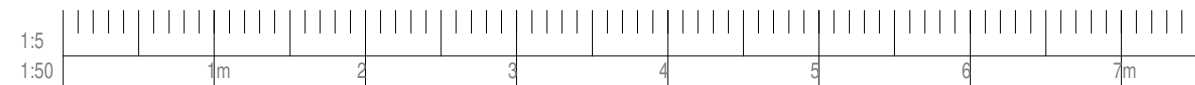
DRAWING  
Block 11 Floor Plans

SCALE 1 : 100	SHEET SIZE @ A3	DRAWN PC	CHECKED MD	DATE 12/08/21
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■ CHECK ALL DIMENSIONS ON SITE

■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Material Schedule

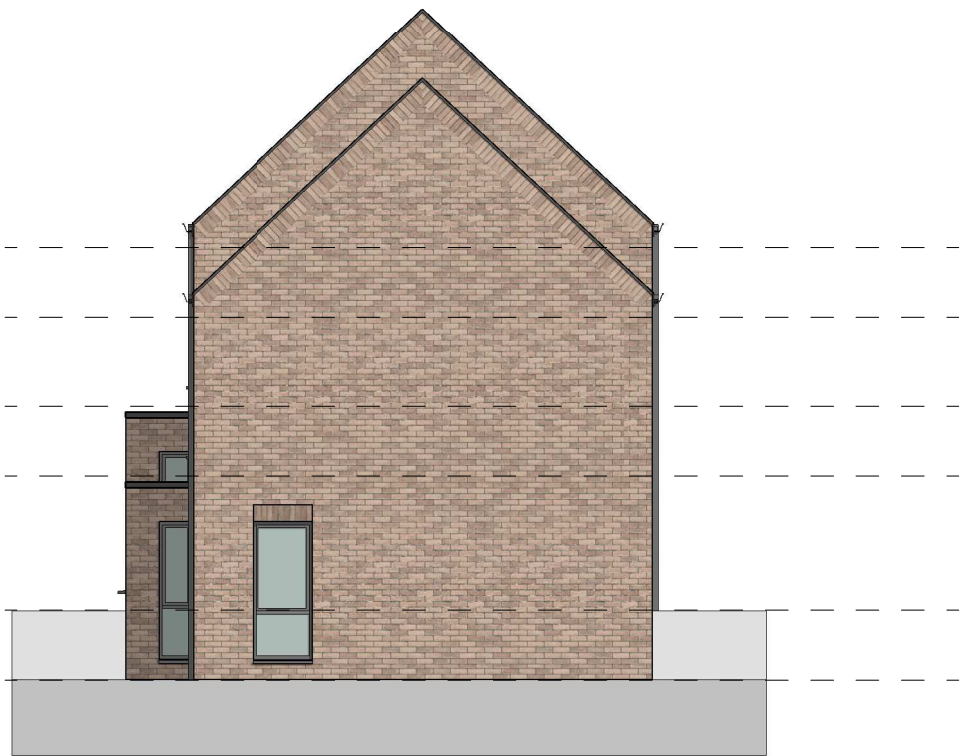
Walls: buff/pink brick compatible with local vernacular

Roofs: thin edge tile

Projecting surrounds to doors/windows: Metal clad



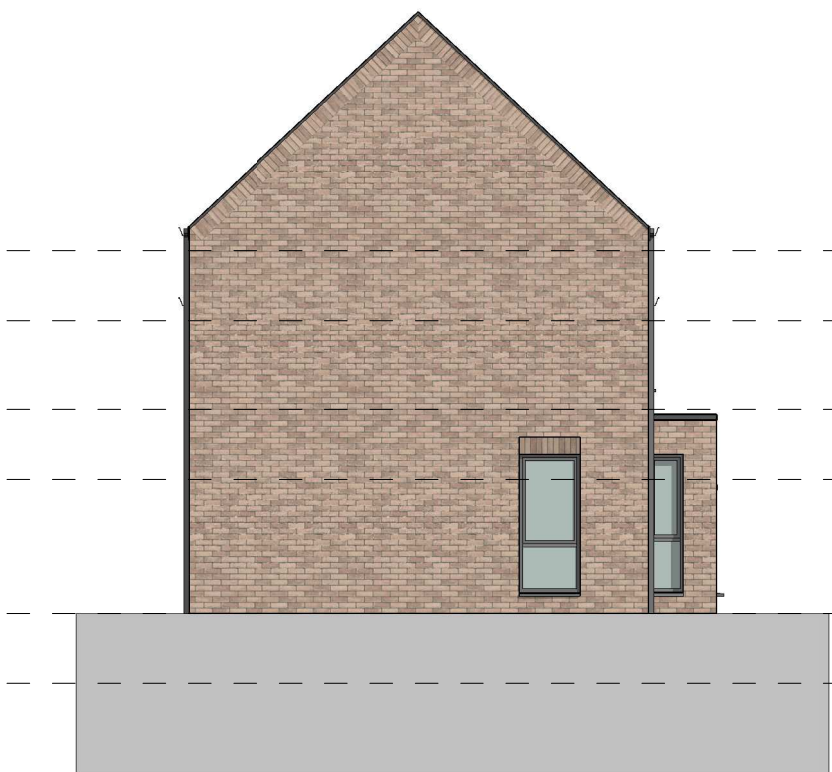
Front  
1 : 100



Right  
1 : 100



Back  
1 : 100



Left  
1 : 100

B 20/09/22 KS Revision to accommodate planning comments MD  
A 29/03 TM Fenestration amangement MD

REV.	DATE	DRN.	CHKD.
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PROJECT  
Ivy Road, Macclesfield

CLIENT  
Peaks & Plains

DRAWING  
Block 12 Elevations

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1 : 100	@ A2	PC	MD	12/08/21

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20-014	1066	B

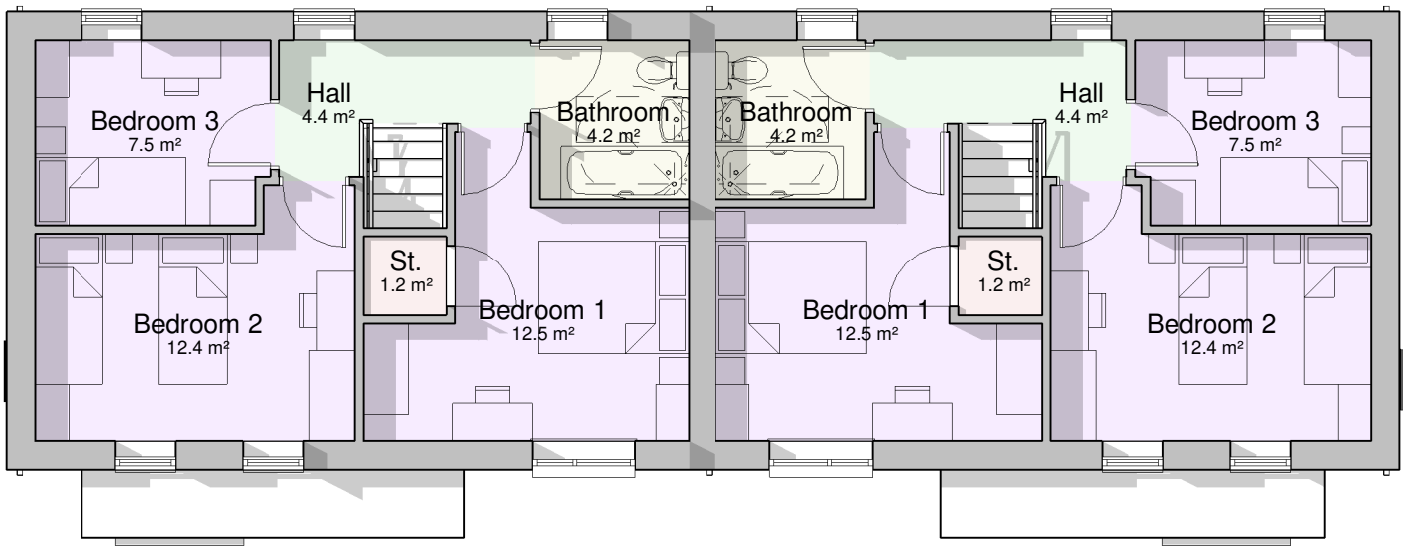
STATUS  
Planning





Plot 28

Plot 27

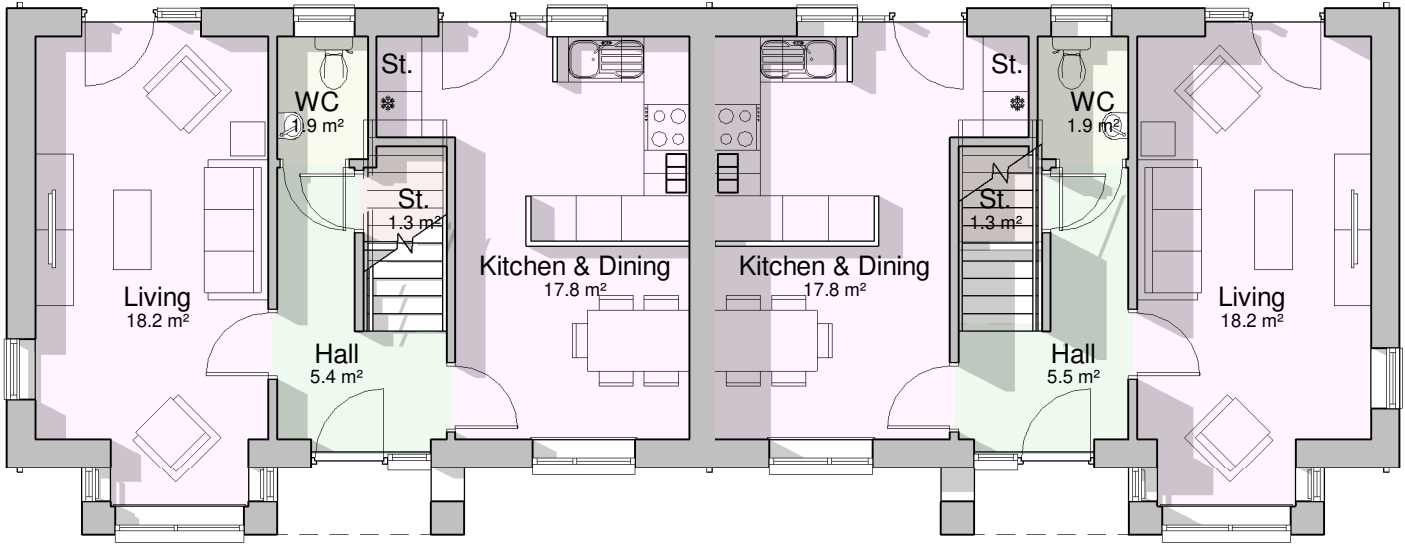


First Floor

1 : 100

Plot 28

Plot 27



Ground Floor

1 : 100

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DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 27	2b4p	00 GF Level	47.7 m²
Plot 27	2b4p	01 FF Level	45.9 m²
			93.6 m²
Plot 28	2b4p	00 GF Level	47.7 m²
Plot 28	2b4p	01 FF Level	46.0 m²
			93.7 m²

B	20/09/22	KS	Revision to accommodate planning comments	MD
A	29/03	TM	Fenestration amanement	MD

REV.	DATE	DRN.	CHKD.
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PROJECT

Ivy Road, Macclesfield

CLIENT

Peaks & Plains

DRAWING

Block 12 Floor Plans

SCALE

1 : 100

SHEET SIZE

@ A3

DRAWN

PC

CHECKED

MD

DATE

12/08/21

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CHECK ALL DIMENSIONS ON SITE

DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Material Schedule

Walls: buff/pink brick compatible with local vernacular  
Roofs: thin edge tile  
Projecting surrounds to doors/windows: Metal clad



Front  
1 : 100



Right  
1 : 100



Back  
1 : 100



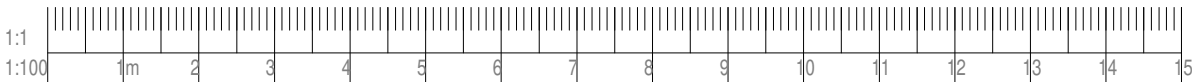
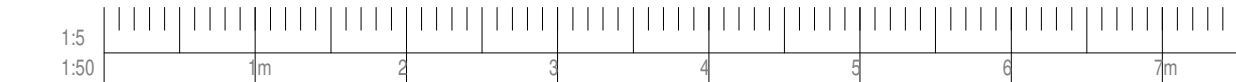
Left  
1 : 100

A		29/03/22	TM	Fenestration amendment		MD
REV.	DATE	DRN.				CHKD.
PROJECT						
Ivy Road, Macclesfield						
CLIENT						
Peaks & Plains						
DRAWING						
Block 13 Elevations						
SCALE 1 : 100		SHEET SIZE @ A3		DRAWN PC		CHECKED MD
						DATE 16/08/21

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20-014	1071	A
STATUS		
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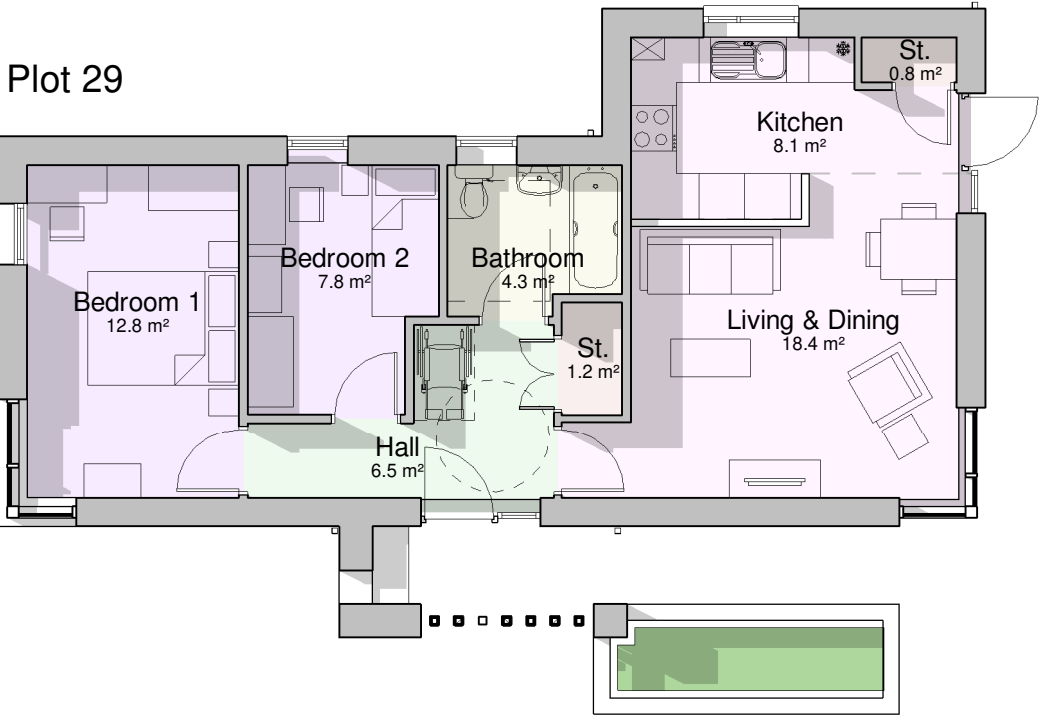
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DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Area Schedule (GIA)			
Block Number	House Type	Level	Area
Plot 29	2b3p	00 GF Level	61.4 m²
			61.4 m²



Ground Floor  
1 : 100

REV.	DATE	DRN.	CHKD.	
PROJECT Ivy Road, Macclesfield				
CLIENT Peaks & Plains				
DRAWING Block 13 Floor Plans				
SCALE 1 : 100	SHEET SIZE @ A3	DRAWN PC	CHECKED MD	DATE 16/08/20

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STATUS		<b>Planning</b>

